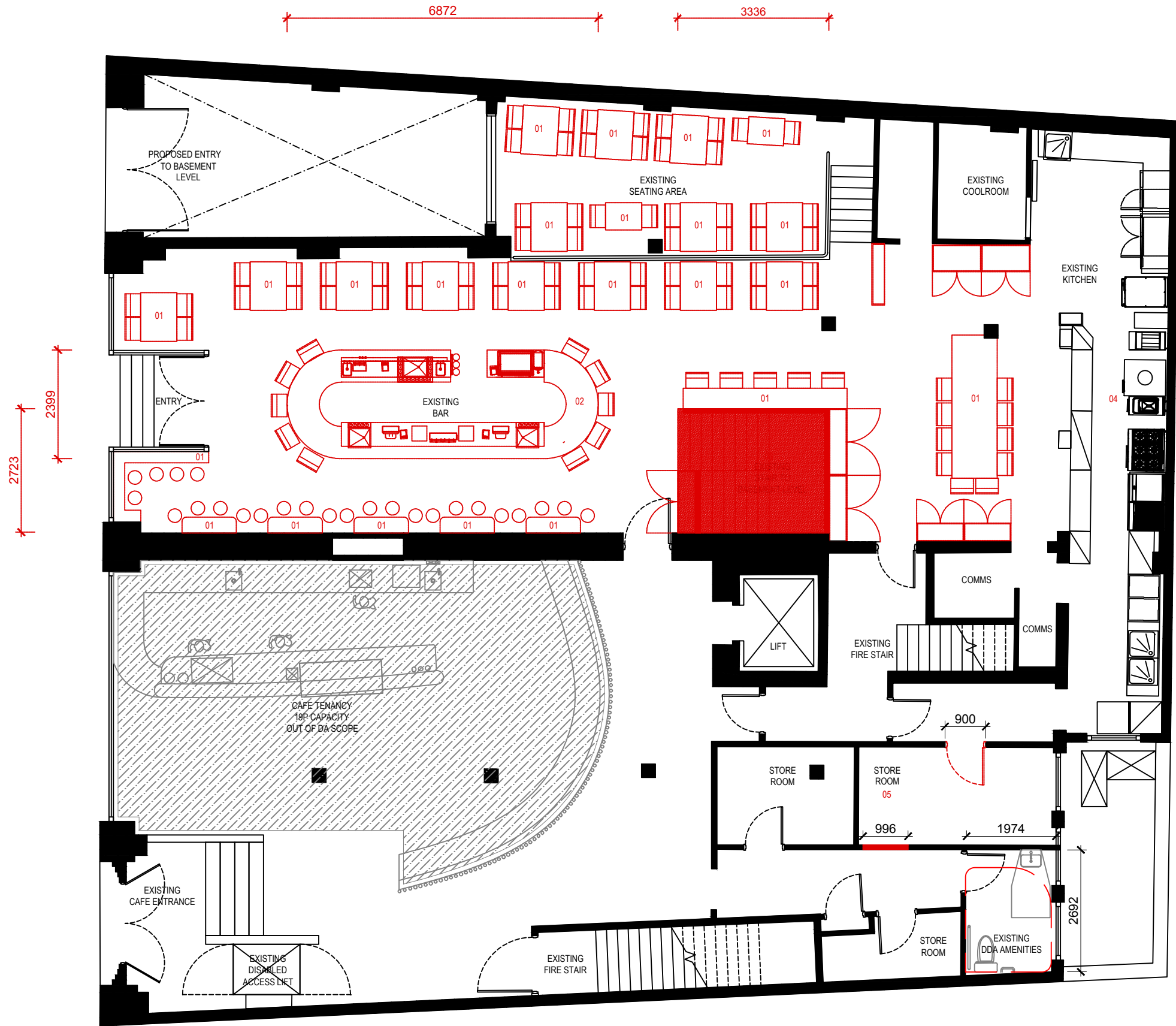


Attachment B

Selected Drawings



EXISTING PLAN DEMOLITION NOTES

ALL WORKS MUST COMPLY WITH THE BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF THE RELEVANT STATUTORY AUTHORITIES/LOCAL GOVERNMENT & RELEVANT BUILDING STANDARDS.

DRAWINGS TO BE READ IN CONJUNCTION WITH COMPLETE ARCHITECTURAL DRAWINGS, SCHEDULE AND SERVICES DRAWINGS. ANY INCONSISTENCIES TO HIGHLIGHTED AND RECTIFIED BEFORE PROCEEDING.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE CONFIRMED WITH INTERIOR ARCHITECT PRIOR TO PROCEEDING. DO NO SCALE FROM DRAWINGS, PLEASE REFER TO DIMENSIONS.

REFER TO DRAWING PACKAGE, RELEVANT SCHEDULES & FITOUT SPECIFICATIONS FOR FULL SCOPE OF WORKS

HERITAGE COMPLIANCE
ENSURE THE MAKE GOOD OF EXISTING AND HERITAGE FINISHES ARE CONSISTENT WITH THE EXISTING. MODIFICATIONS SHOULD NOT RESULT IN ADVERSE HERITAGE IMPACTS. HERITAGE CONSULTANT TO REVIEW AND OVERSEE THE WORKS PRIOR TO COMMENCING ON SITE AND PROVIDE ADVICE IN ALIGNMENT WITH THE DA CONSENT & DELEGATE REPORT.

ALL SERVICES TO BE TERMINATED AND MADE SAFE AS REQUIRED

LEGEND

XXX DIMENSIONS TO BE CONFIRMED ON SITE. DO NOT SCALE OFF PLAN

NOT IN SCOPE

INDICATIVE OF DEMOLITION SCOPE

1. DEMOLISH EXISTING LOOSE FURNITURE TO PREPARE FOR NEW LAYOUT
2. DEMOLISH EXISTING BAR, CAP EXISTING SERVICES AND MAKE GOOD. REMOVE EXISTING FLOOR RETURN TO EXISTING TIMBER FINISH.
3. DEMOLISH EXISTING STAIR TO BE FILLED IN RETURN TO MATCH ORIGINAL TIMBER FLOORING. STRUCTURAL SUPPORT TO BE REINSTATED.
4. EXISTING KITCHEN EQUIPMENT TO BE MAINTAINED. NO SOLID FUEL COOKING TO BE INCLUDED.
5. EXISTING STORE ROOM TO BE CONVERTED TO AMENITIES. ACCESS VIA SHARED CORRIDOR TO BE MODIFIED TO ACCOMMODATE.





GENERAL ARRANGEMENT NOTES

ALL WORKS MUST COMPLY WITH THE BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF THE RELEVANT STATUTORY AUTHORITIES/LOCAL GOVERNMENT & RELEVANT BUILDING STANDARDS.

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REFER TO DRAWING PACKAGE, RELEVANT SCHEDULES & FITOUT SPECIFICATIONS FOR FULL SCOPE OF WORKS

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- KITCHEN EQUIPMENT**
- 01 PASS THROUGH DISHWASHER
 - 02 | WASH UP AREA
 - 03 | BIN
 - 04 | FLATTOP
 - 05 | PASTA BOILER
 - 06 | FLATTOP
 - 07 | FRYER
 - 08 | PLANCHA
 - 09 | 10 TRAY COMBI OVEN
 - 10 | 2D FRIDGE
 - 11 | 1D FRIDGE
 - 12 | PREP BASIN
 - 13 | HAND BASIN WITH SENSOR TAP, SOAP DISPENSER & PAPER TOWEL DISPENSER

SEATING CAPACITY - GROUND LEVEL - GROUND LEVEL
101 PAX

CAFE SEATING CAPACITY
19 PAX

TOTAL SEATING CAPACITY - GROUND LEVEL
120

- LEGEND**
- XXX DIMENSIONS TO BE CONFIRMED ON SITE. DO NOT SCALE OFF PLAN
 - NOT IN SCOPE
 - ELEVATION MARKER DA100 EXTERNAL
 - INTERIOR SECTIONS DA10X INTERNAL
 - INDICATIVE OF NEW SCOPE

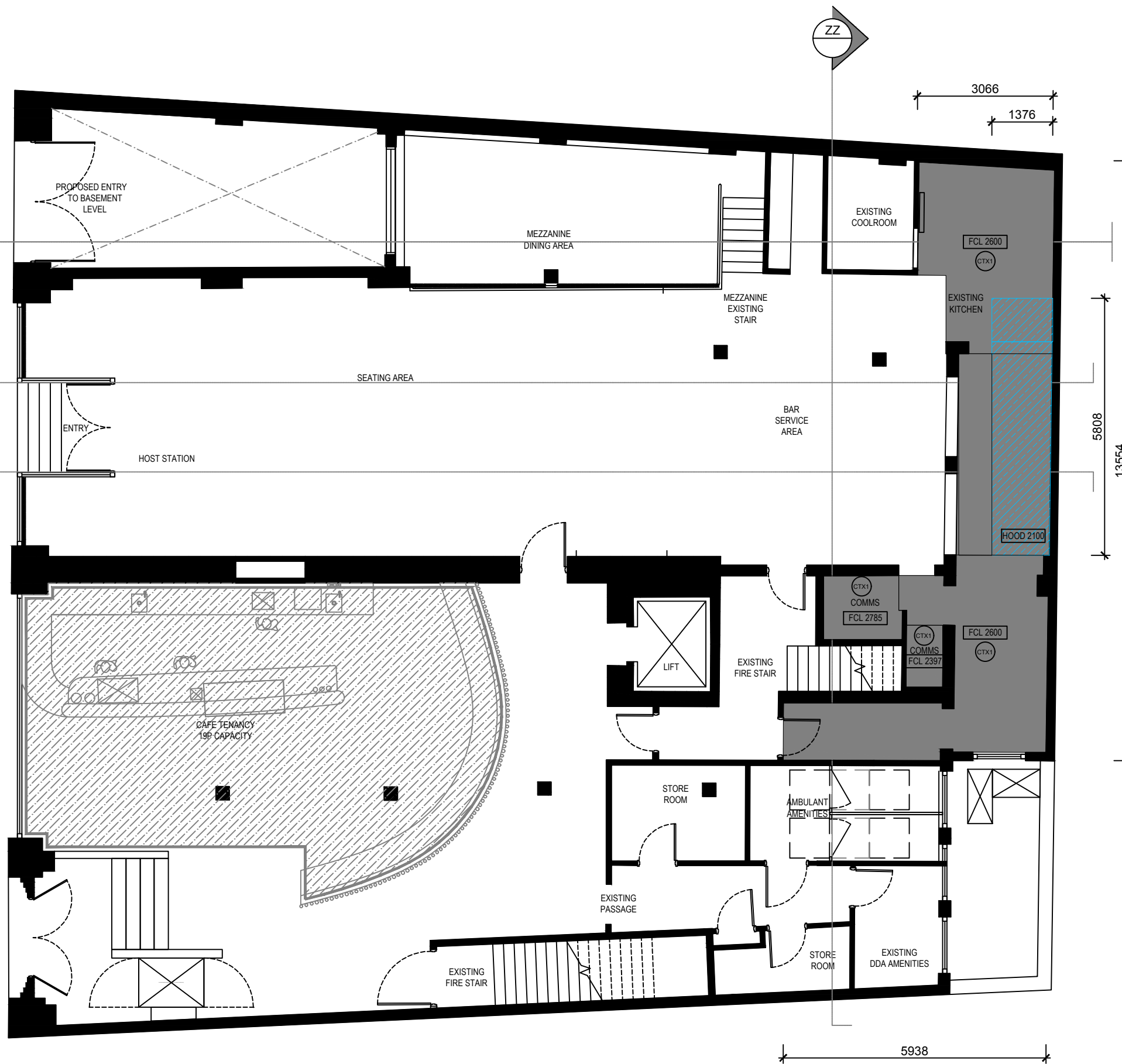


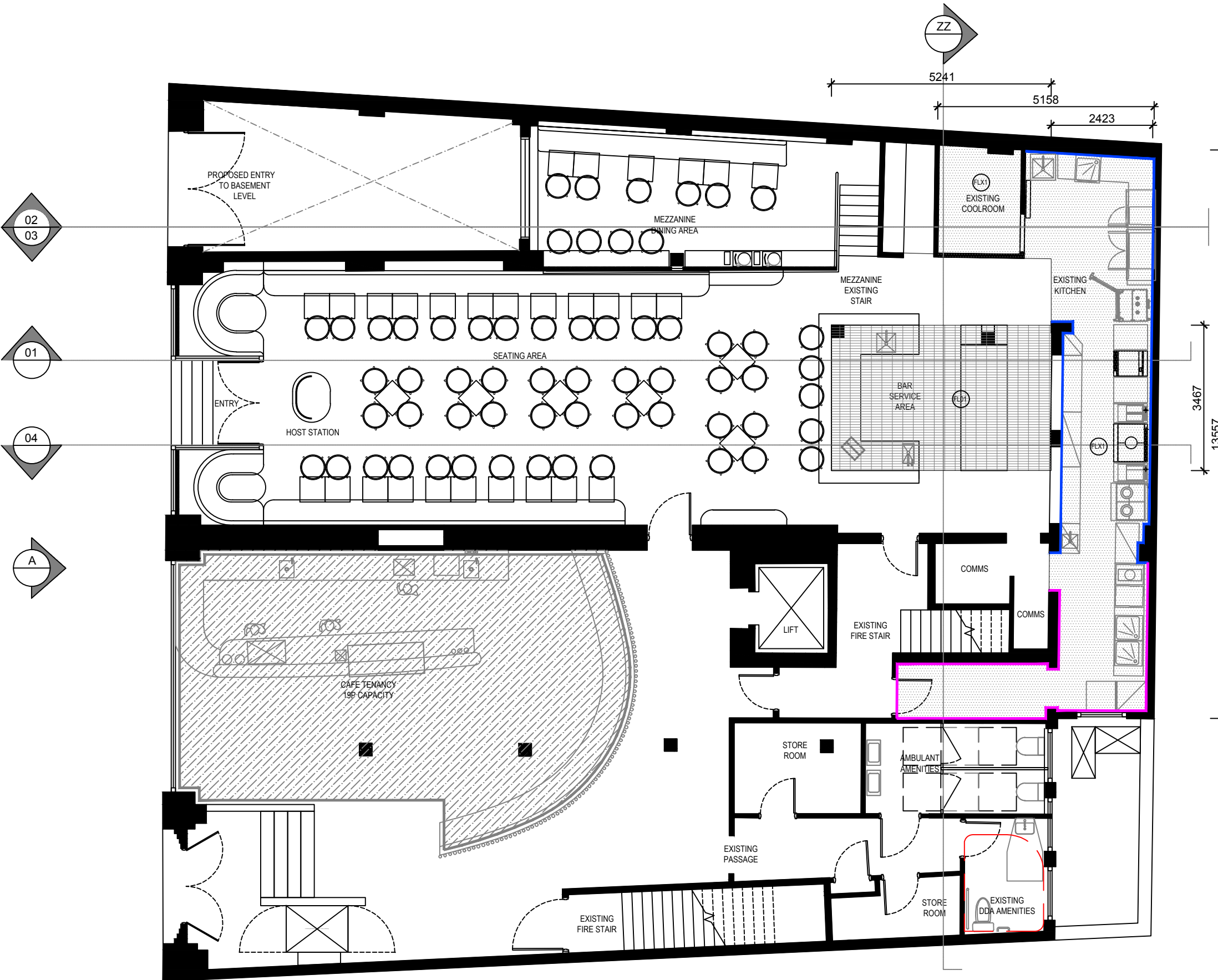
REFLECTED CEILING PLAN NOTES

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH COMPLETE ARCHITECTURAL SET, SCHEDULES & SERVICES DRAWINGS ANY DISCREPANCIES TO BE VERIFIED.
2. THE CEILING CONTRACTOR SHALL REFER TO THE "LIGHTING, MECHANICAL, FIRE, HYDRAULIC & AUDIO VISUAL LAYOUTS AND SPECIFICATIONS" AND MAKE FULL ALLOWANCES TO RELOCATE TO COMPLY WITH AUSTRALIAN STANDARDS AND BCA.
3. SERVICES FITTINGS TO BE IN BLACK UNLESS INDICATED OTHERWISE.
4. ACCESS PANELS TO BE COORDINATED PRIOR TO INSTALLATION.
5. CEILINGS TO BE COORDINATED WITH HIGH LEVEL JOINERY & REMAINING SERVICES. ALL SERVICES & HIGH LEVEL JOINERY TO RECEIVE ADEQUATE SUPPORT.
6. CO-ORDINATED SETOUT DRAWINGS TO BE PROVIDED PRIOR TO INSTALLATION.
7. KITCHEN PLASTERBOARD TO MEET HYGIENE AND AUSTRALIAN CODE STANDARDS.

LEGEND

- FCL 0000 FINISHED CEILING LEVEL
- XXX DIMENSIONS TO BE CONFIRMED ON SITE. DO NOT SCALE OFF PLAN
- X
CTXX CEILING DETAIL MARKER. REFER TO CEILING DETAIL SERIES A200
- CTXX CEILING FINISH CODE.
- NOT IN SCOPE
- CTX1 - EXISTING FYRECHECK PLASTERBOARD CEILING TO REMAIN. NEW PAINT FINISH
- CT01 - NEW AQUACHECK PLASTERBOARD BULKHEAD OVER BAR AREA
- EXISTING MECHANICAL EXTRACTION SYSTEM OVER COOKLINE





FINISHES PLAN NOTES

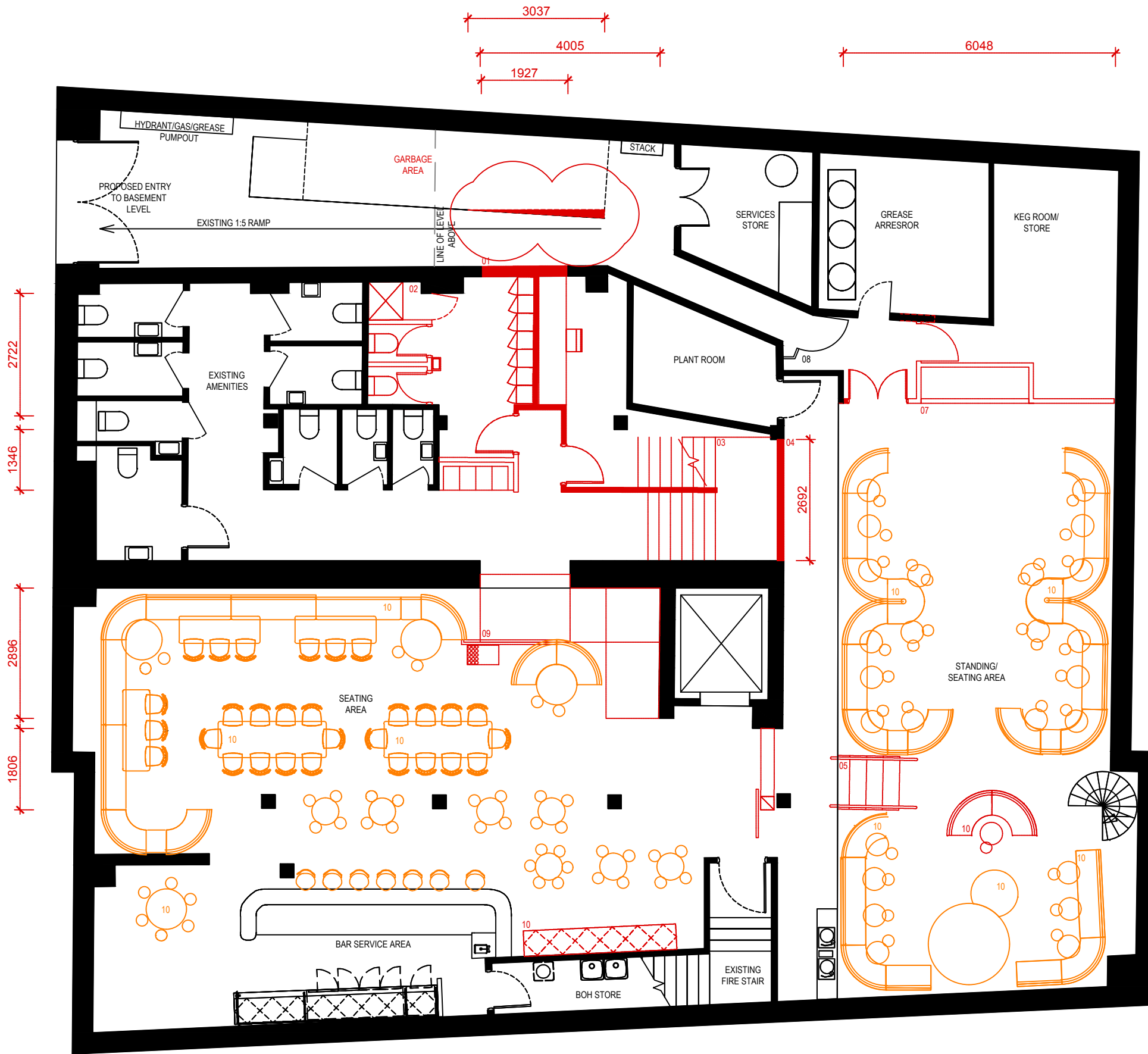
1. REFER TO DRAWING PACKAGE, RELEVANT SCHEDULES & FITOUT SPECIFICATIONS FOR FULL SCOPE OF WORK.
2. ALL FLOOR FINISHES ARE TO ALIGN WITH ADJACENT FINISH. TOLERANCE NO GRATER THAN 3MM PER NCC & AUSTRALIAN CODES.
3. INSTALL ALL FLOOR FINISHES TO MANUFACTURERS RECOMMENDED INSTRUCTIONS INCLUDING ADHESIVES OR BEDDING MATERIALS.
4. EXISTING AND NEW FLOOR TO TILE JUNCTION TO INCLUDE 3MM FLAT BAR TRIM AT FINISH JUNCTIONS.
5. ALLOW FOR PROTECTIVE SURFACES WHILST SITE IS ACTIVE.
6. ALL DIMENSIONS TO BE VERIFIED ON SITE
7. ANY DISCREPANCIES TO BE CONFIRMED WITH DESIGNER DURING TENDER/ PRIOR TO PROCEEDING ON SITE.

LEGEND

- NOT IN SCOPE
- FLOOR FINISH SETOUT
- WALL FINISH AS INDICATED.
- FLOOR FINISH. PREPARE FLOOR TO RECEIVE NEW FINISH
- FLOOR JUNCTION SECTION REFERENCE
- FLX1 - EXISTING EPOXY FLOOR FINISH WITH 100MM COVING TO ADJACENT WALLS
- FL01 - NEW SLIP RESISTANT FLOOR TILE WITH 100MM TILE COVE TO ADJACENT WALLS
- WFX1 - EXISTING STAINLESS STEEL WALL PANELS FIXED TO KITCHEN AREAS AS INDICATED
- WFX2 - EXISTING TILED WALL FINISH WITH EPOXY GROUT

HERITAGE COMPLIANCE
ENSURE THE MAKE GOOD OF EXISTING AND HERITAGE FINISHES ARE CONSISTENT WITH THE EXISTING. MODIFICATIONS SHOULD NOT RESULT IN ADVERSE HERITAGE IMPACTS. HERITAGE CONSULTANT TO REVIEW AND OVERSEE THE WORKS PRIOR TO COMMENCING ON SITE AND PROVIDE ADVICE IN ALIGNMENT WITH THE DA CONSENT & DELEGATE REPORT





EXISTING PLAN DEMOLITION NOTES

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LEGEND

XXX DIMENSIONS TO BE CONFIRMED ON SITE. DO NOT SCALE OFF PLAN

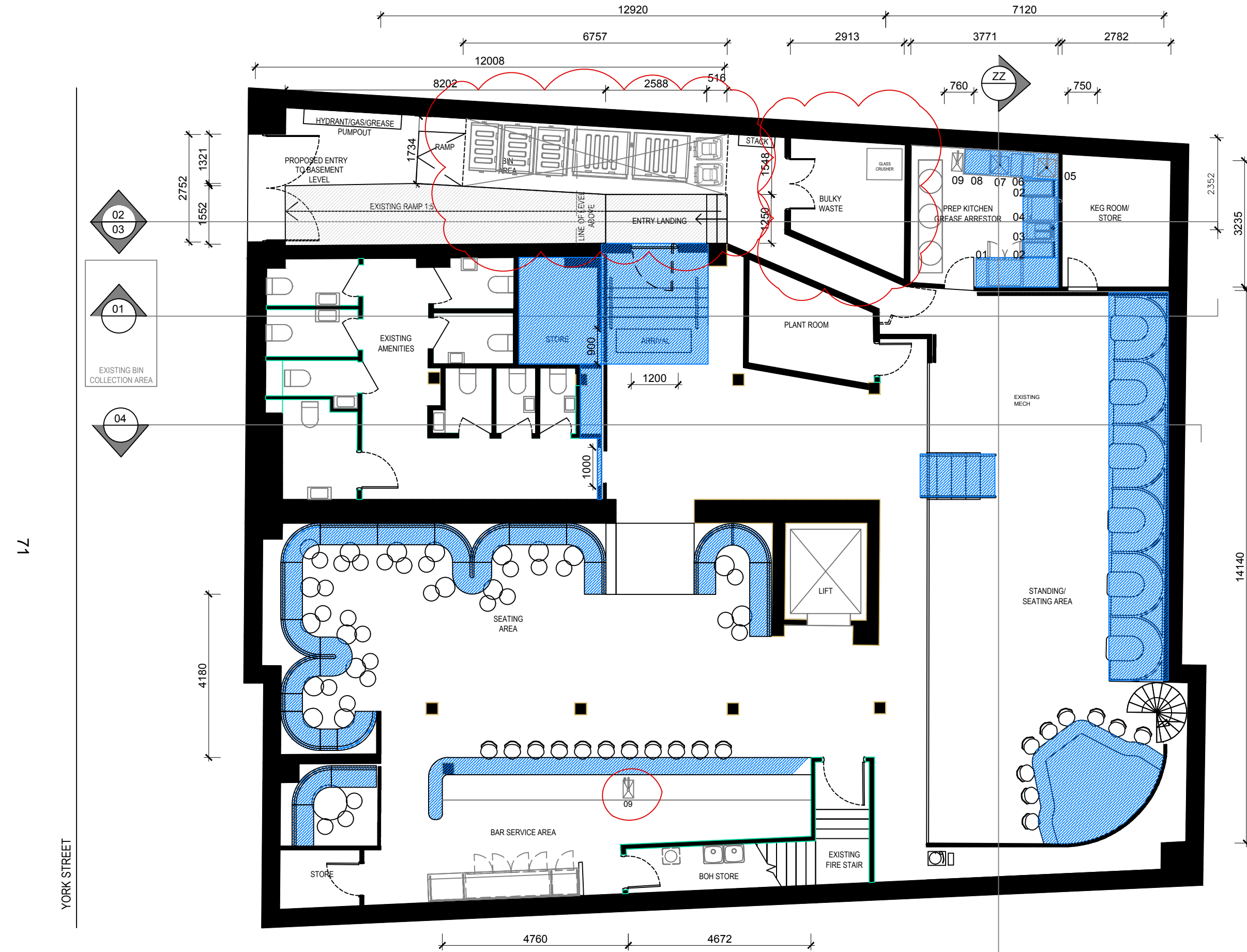
NOT IN SCOPE

INDICATIVE OF DEMOLITION SCOPE

INDICATIVE OF RELOCATION/RE-USE

1. DEMOLISH EXISTING WALL TO CREATE NEW OPENING TO BASEMENT LEVEL
2. DEMOLISH EXISTING AMENITIES TO ACCOMMODATE NEW ARRIVAL AREA
3. GROUND FLOOR STAIR TO BE ENCLOSED FOR STAIR INSTALLATION SUPPORT TO CREATE NEW OPENING
5. DEMOLISH EXISTING STAIR TO BE REINSTATED IN NEW LOCATION
6. EXISTING SPIRAL STAIR TO BE MAINTAINED FOR ACCESS TO MECHANICAL SERVICING
7. DEMOLISH EXISTING RECESSED BAR WALL
8. EXISTING FIRE EXIT DOOR TO REMAIN
9. DEMOLISH EXISTING RAMP. FLOOR TO BE FEATHERED TO CREATE NEW LEVEL WITH COMPLIANT RAMP
10. EXISTING FURNITURE TO BE RE-USED OR REMOVED PER THE NEW LAYOUT
11. EXISTING BIN AREA TO BE MODIFIED TO SUIT THE EXIT EGRESS WIDTHS





GENERAL ARRANGEMENT NOTES

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SEATING CAPACITY - BASEMENT LEVEL
84 PAX

STANDING CAPACITY - BASEMENT LEVEL
250 PAX

BIN AREA TO BE ENCLOSED TO PREVENT ODOUR CONTAMINATION AT ENTRY

BOTH LANDINGS SHOULD BE FRAMED IN TIMBER OR STEEL SO AS TO BE REVERSIBLE. THIS IS IN ORDER TO AVOID EXACERBATING THE ISSUE OF RISING DAMP IN THE BRICK WALL, AND TO AVOID NEW FOOTINGS THAT MAY DISTURB EARLIER CARTWAY PAVEMENTS AND ARCHAEOLOGY. FOOTINGS SHOULD BE DESIGNED SO AS TO BE MINIMAL

LEGEND

XXX DIMENSIONS TO BE CONFIRMED ON SITE. DO NOT SCALE OFF PLAN

NOT IN SCOPE

ELEVATION MARKER DA100 EXTERNAL

INTERIOR SECTIONS DA10X INTERNAL

INDICATIVE OF NEW SCOPE

PLATFORM & LANDING TO IMPROVE THE RAMP GRADIENT & ENTRY WHILST MAINTAINING THE HERITAGE COBBLE STONES.

PREP KITCHEN EQUIPMENT LIST

- 01 | 2 DOOR FRIDGE
- 02 | IN FILL
- 03 | 2 BASKET DEEP FRYER
- 04 | OVEN WITH GRIDDLE
- 05 | PREP BASIN
- 06 | 60 LTR BIN
- 07 | WASH-UP BASIN WITH SPRING MIXER
- 08 | UNDER BENCH DISHWASHER
- 09 | HAND BASIN WITH SENSOR TAP, PAPER TOWEL & SOAP DISPENSER

1/1

YORK STREET



PROJECT: 2024010
ADDRESS: 18-20 YORK STREET, SYDNEY
DRAWING: GENERAL ARRANGEMENT PLAN - BASEMENT
DWG REF: DA001.BL
SCALE: 1:100 | A3

REVISION:	01	240213	DA MODIFICATION SUBMISSION	DRAWN SW
	02	240221	DA MODIFICATION SUBMISSION	DRAWN SW
	03	240509	DA MODIFICATION SUBMISSION	DRAWN SW
	04	240515	DA MODIFICATION SUBMISSION	DRAWN SW
	05	240828	DA RFI RESPONSE	DRAWN SW
	06	240930	DA RFI RESPONSE	DRAWN SW

E: info@studiovista.com.au
P: 0433 113 559

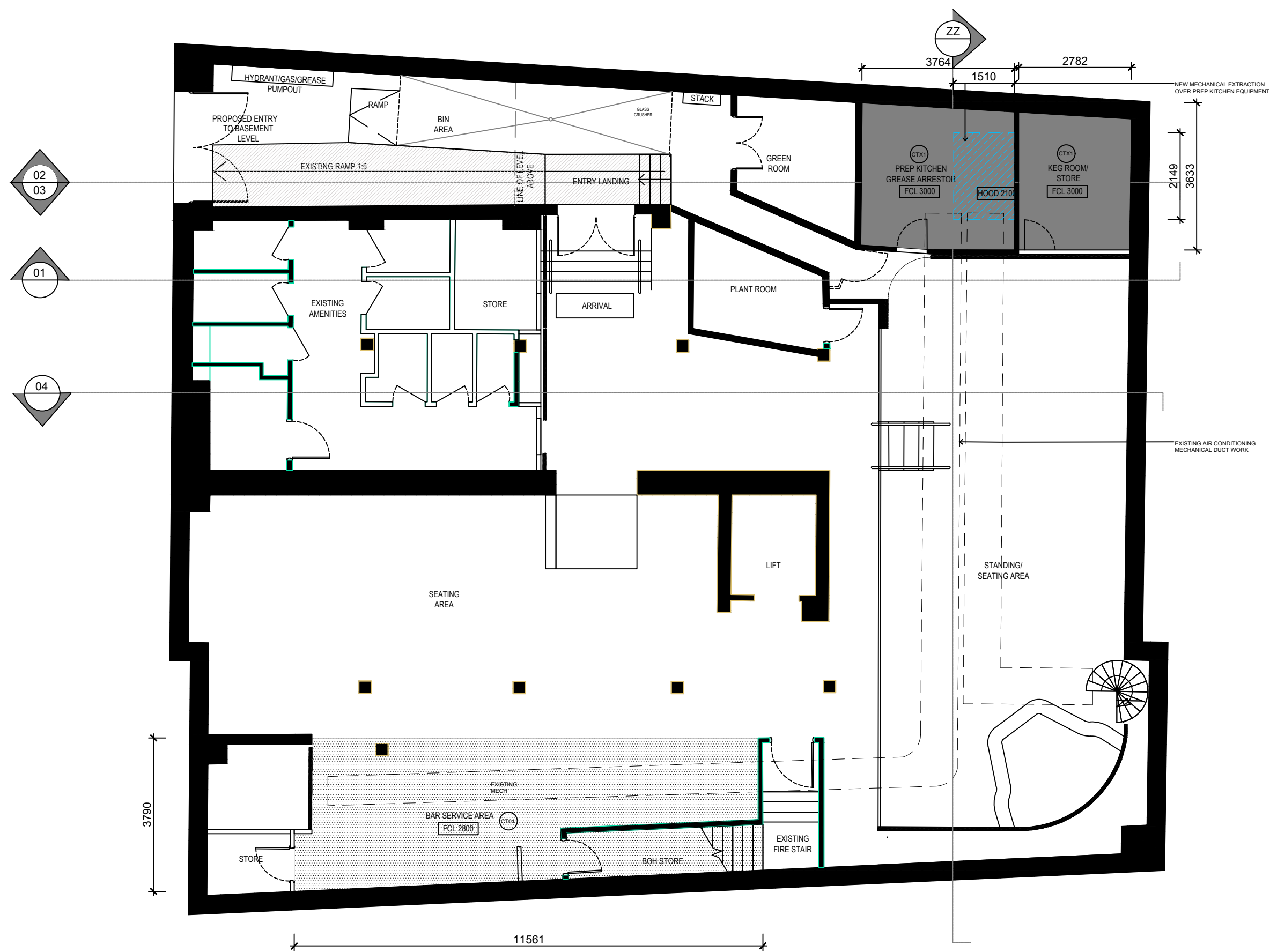


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6. CO-ORDINATED SETOUT DRAWINGS TO BE PROVIDED PRIOR TO INSTALLATION
7. KITCHEN PLASTERBOARD TO MEET HYGIENE AND AUSTRALIAN CODE STANDARDS

LEGEND

- FCL 0000 FINISHED CEILING LEVEL
- XXX DIMENSIONS TO BE CONFIRMED ON SITE. DO NOT SCALE OFF PLAN
- X
0200 CEILING DETAIL MARKER. REFER TO CEILING DETAIL SERIES A200
- CTXX CEILING FINISH CODE.
- NOT IN SCOPE
- CTX1 - EXISTING FYRECHECK PLASTERBOARD CEILING TO REMAIN. NEW PAINT FINISH
- CT01 - NEW AQUACHECK PLASTERBOARD BULKHEAD OVER BAR AREA
- EXISTING MECHANICAL EXTRACTION SYSTEM OVER COOKLINE



72

YORK STREET



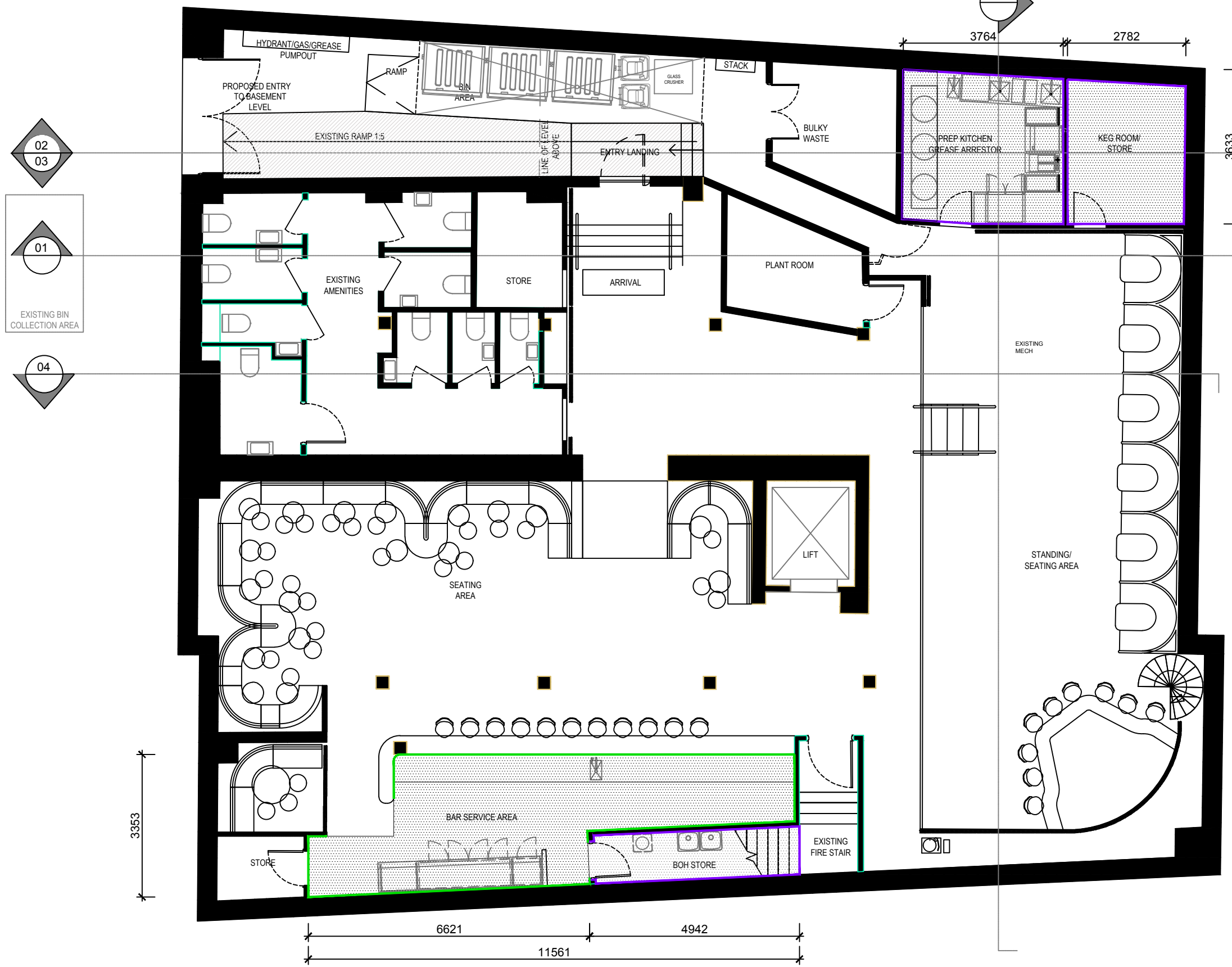
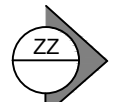
3353

6621 4942 11561

3764

2782

3633



FINISHES PLAN NOTES

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LEGEND

- NOT IN SCOPE
- FLOOR FINISH SETOUT
- WALL FINISH AS INDICATED.
- FLOOR FINISH. PREPARE FLOOR TO RECEIVE NEW FINISH
- FLOOR JUNCTION SECTION REFERENCE
- FLX1 - EXISTING EPOXY FLOOR FINISH WITH 100MM COVE TO ADJACENT WALLS
- FL02 - NEW EPOXY FLOOR FINISH WITH 100MM COVING TO ADJACENT WALLS
- WF01 - TILED WALL FINISH WITH EPOXY GROUT
- WF02 - TILED WALL FINISH WITH EXPOXY GROUT

HERITAGE COMPLIANCE
 ENSURE THE MAKE GOOD OF EXISTING AND HERITAGE FINISHES ARE CONSISTENT WITH THE EXISTING. MODIFICATIONS SHOULD NOT RESULT IN ADVERSE HERITAGE IMPACTS. HERITAGE CONSULTANT TO REVIEW AND OVERSEE THE WORKS PRIOR TO COMMENCING ON SITE AND PROVIDE ADVICE IN ALIGNMENT WITH THE DA CONSENT & DELEGATE REPORT.

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NEW WALL TILING PROPOSED TO BE SET IN EPOXY GROUT TO THE SANDSTONE WALLS OF THE BASEMENT WILL EXACERBATE SALT ATTACK AND RISING DAMP. ALL SUCH FINISHES SHOULD BE SPACED OFF THE WALL TO PROVIDE A VENTILATED CAVITY



PROJECT: 2024010
 ADDRESS: 18-20 YORK STREET, SYDNEY
 DRAWING: FINISHES PLAN - BASEMENT
 DWG REF: DA003.BL
 SCALE: 1:100 | A3

REVISION: 01 240828 DA RFI RESPONSE DRAWN SW
 02 240930 DA RFI RESPONSE DRAWN SW

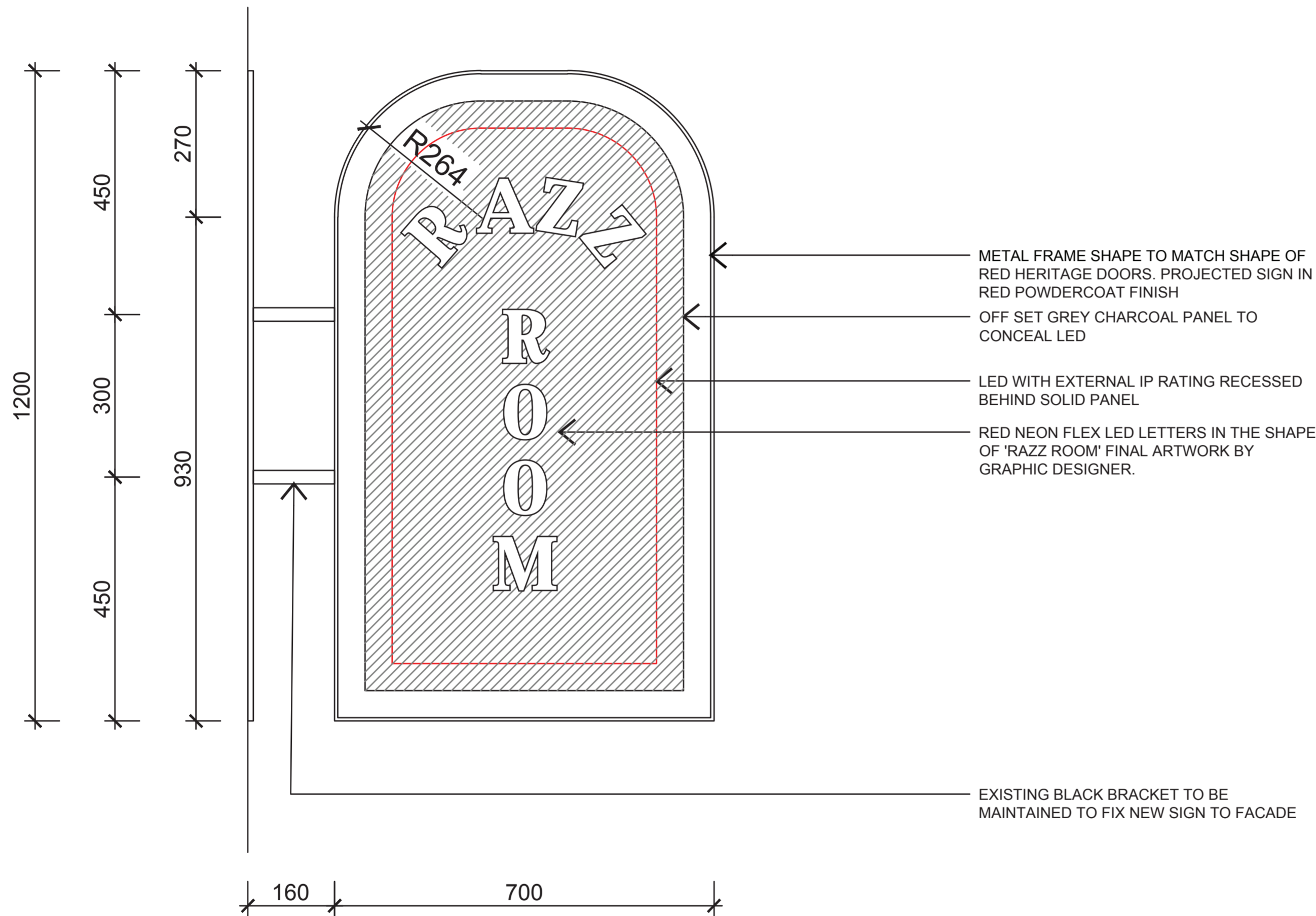




ILLUMINATED NEON SIGNAGE TO REPLACE EXISTING STAINLESS PROJECTED SIGN
FINAL ARTWORK TO BE CONFIRMED
EXISTING LIGHTING CABLE RETICULATION TO BE UTILISED

VINYL GRAPHIC TEXT APPLIED TO EXISTING GLAZING. ARTWORK TO BE CONFIRMED

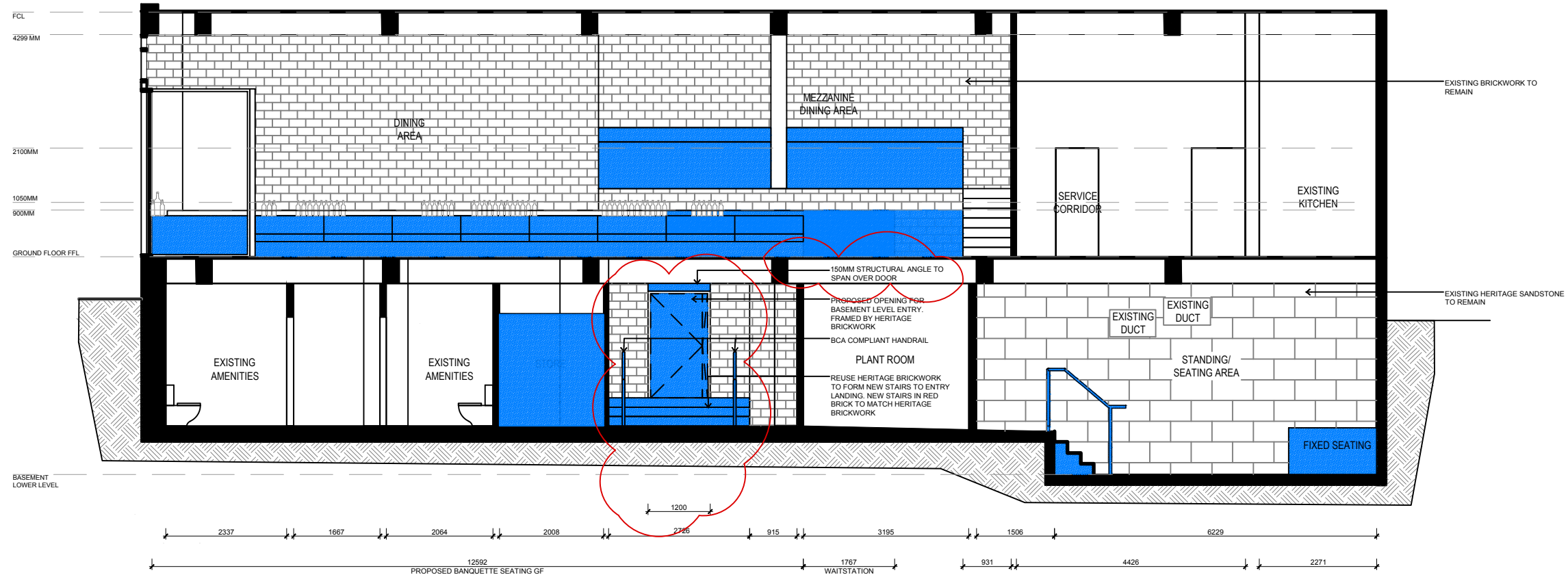
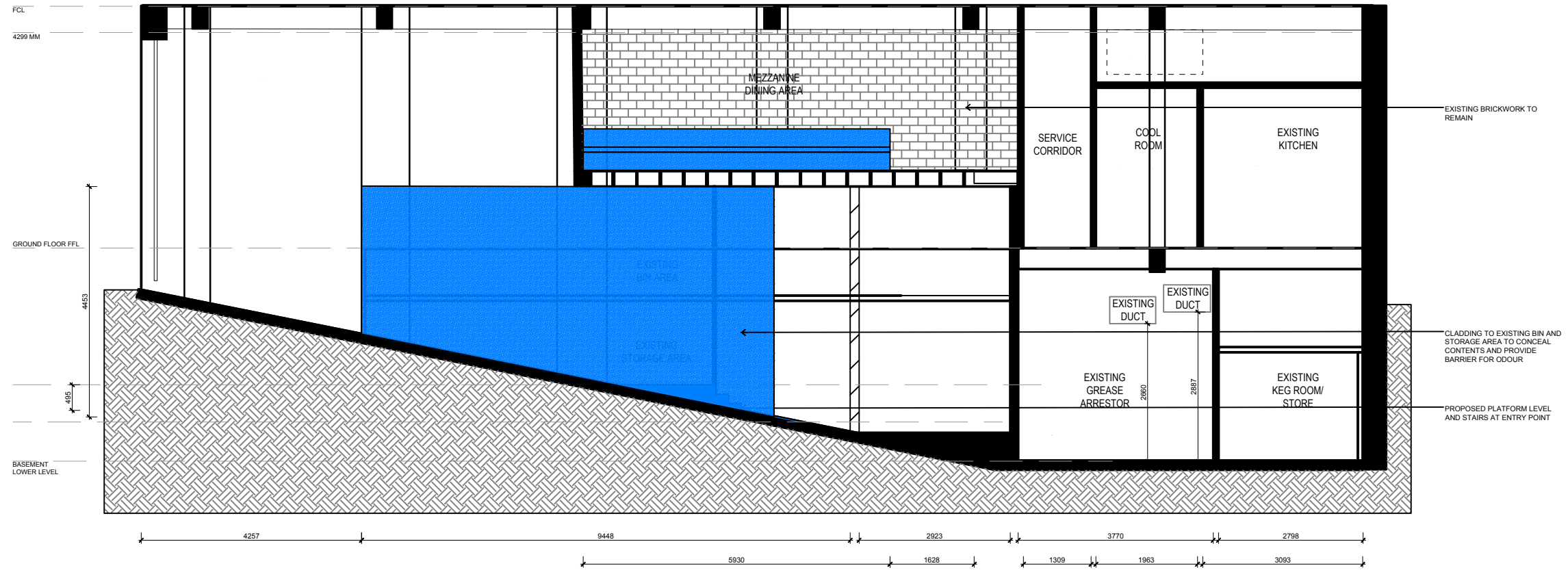
A ELEVATION - EXTERNAL A
SCALE 1:100



A ELEVATION - PROJECTED SIGN
SCALE 1:10



B REFERENCE IMAGE
SCALE NTS

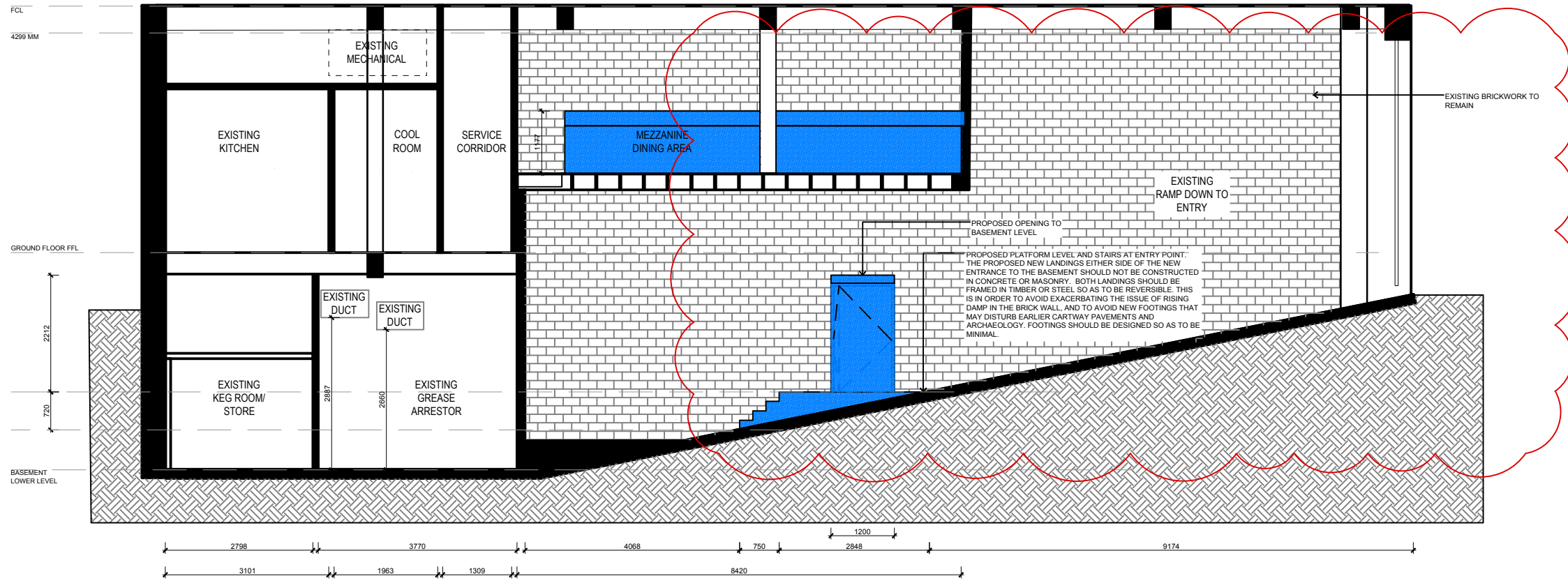


PROJECT: 2024010
 ADDRESS: 18-20 YORK STREET, SYDNEY
 DRAWING: INTERNAL ELEVATION
 DWG REF: DA101.EL
 SCALE: 1:100 | A3

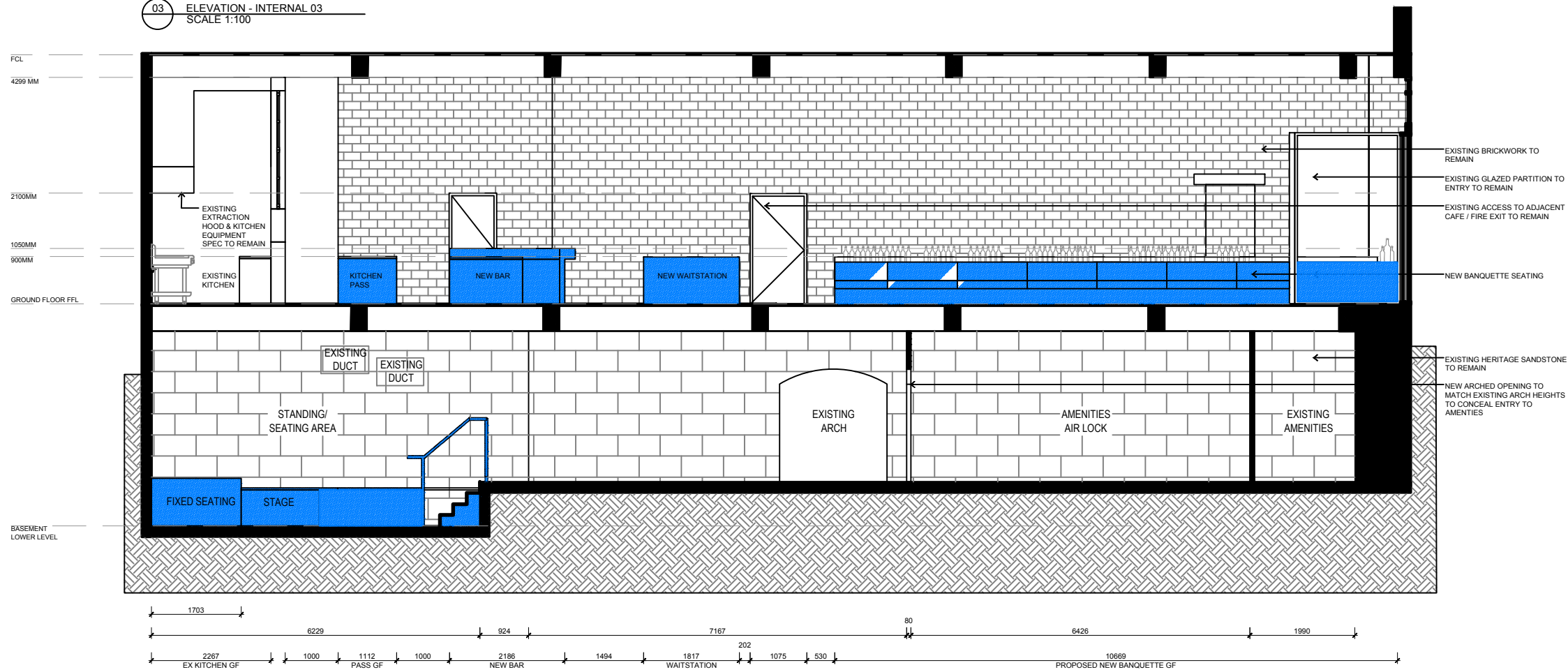
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 02 240221 DA MODIFICATION SUBMISSION
 03 240828 DA RFI RESPONSE
 04 240930 DA RFI RESPONSE

DRAWN SW
 DRAWN SW
 DRAWN SW
 DRAWN SW



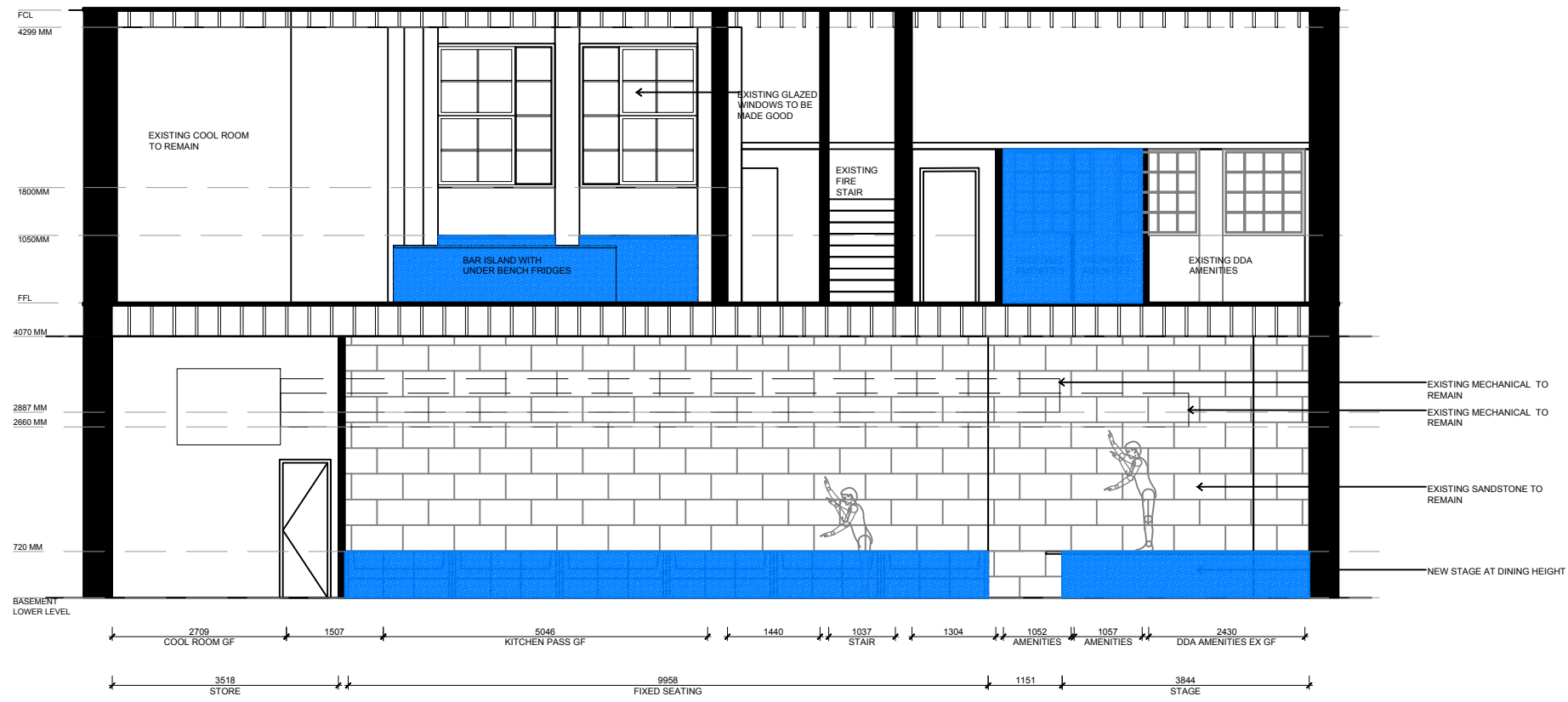


03 ELEVATION - INTERNAL 03
SCALE 1:100



04 ELEVATION - INTERNAL 04
SCALE 1:100

77



ZZ ELEVATION - INTERNAL ZZ
SCALE 1:100